



SITE DATA

| | |
|--------------------|-------------|
| LOT | 12 |
| LOT SIZE | 47,200 S.F. |
| (S.F./ACRES) | 1.08 ACRES |
| GARAGE AREA | 1,020 S.F. |
| NUMBER OF BEDROOMS | 5 |
| FIRST FLOOR | 4,275 S.F. |
| SECOND FLOOR | 2,866 S.F. |
| TOTAL HOUSE AREA | 6,341 S.F. |

MARK E. LANDOLF
ARCHITECT
1640 HIRSHWOOD ROAD
ALABAMA CITY, AL 35007
(205) 867-5438 (205) 400-0355 FAX
WWW.MARKLANDOLF.COM



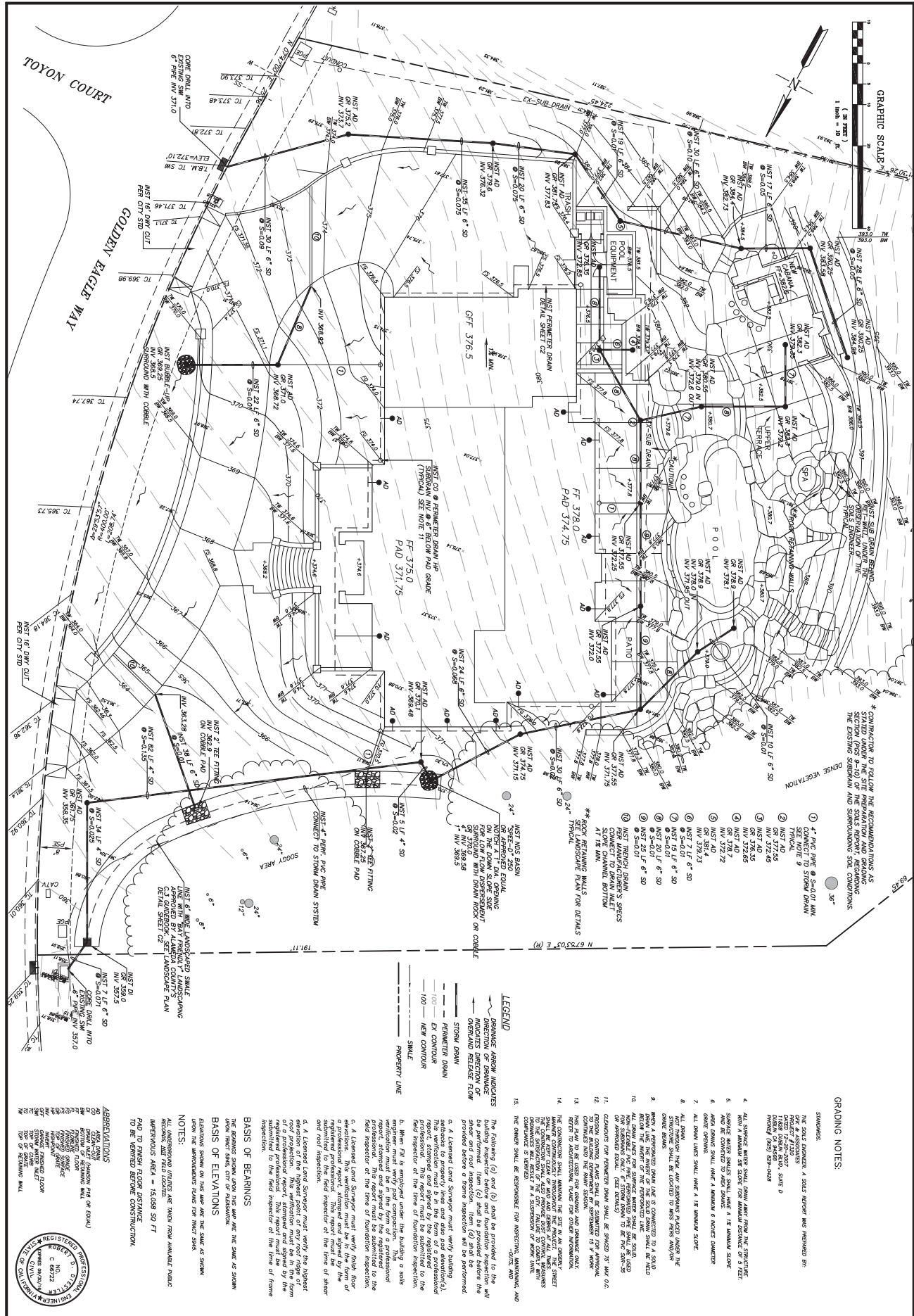
HADDAD RESIDENCE
8019 GOLDEN EAGLE WAY
PLEASANTON, CALIFORNIA

SITE AREA CALCULATIONS

These drawings and specifications are the sole property of Mark E. Landolf Architect and are to be used only for the project and location to which they pertain unless otherwise stated.



| REVISIONS | BY | DATE |
|----------------|-------------|--------------|
| DATE: 12/27/14 | planning | Scale: noted |
| | Drawn: MEL | |
| | Job: HADDAD | |
| | Sheet: | |
| A1.a | | |



CONTRACTOR TO FOLLOW THE RECOMMENDATIONS AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.

- 1. 4" PVC PIPE @ 5'-0" MIN. CONNECT TO STORM DRAIN
- 2. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 3. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 4. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 5. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 6. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 7. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 8. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 9. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 10. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 11. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 12. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 13. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 14. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 15. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 16. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 17. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 18. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 19. 4" PVC PIPE @ 5'-0" MIN. TYPICAL
- 20. 4" PVC PIPE @ 5'-0" MIN. TYPICAL

LEGEND

- RETAINING WALL
- PERIMETER DRAIN
- EX CONTOUR
- NEW CONTOUR
- SWALE
- PROPERTY LINE

GRADING NOTES:

1. THE SOILS HAZARD A SOILS REPORT WAS REVIEWED BY THE ENGINEER AND FOUND TO BE SATISFACTORY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM SLOPE OF 1% MINIMUM DISTANCE OF 3 FEET.
5. ALL SURFACE WATER SHALL BE COLLECTED BY A PERIMETER DRAIN AND BE CONDUCTED TO THE STORM DRAIN SYSTEM.
6. ALL DRAIN LINES SHALL HAVE A MINIMUM 6 INCH DIAMETER.
7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
8. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
9. ALL DRAIN LINES SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM.
10. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
11. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
12. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
13. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
14. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
15. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
16. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
17. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
18. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
19. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.
20. ALL DRAIN LINES SHALL BE PROTECTED BY A 12 INCH CONCRETE COVER.

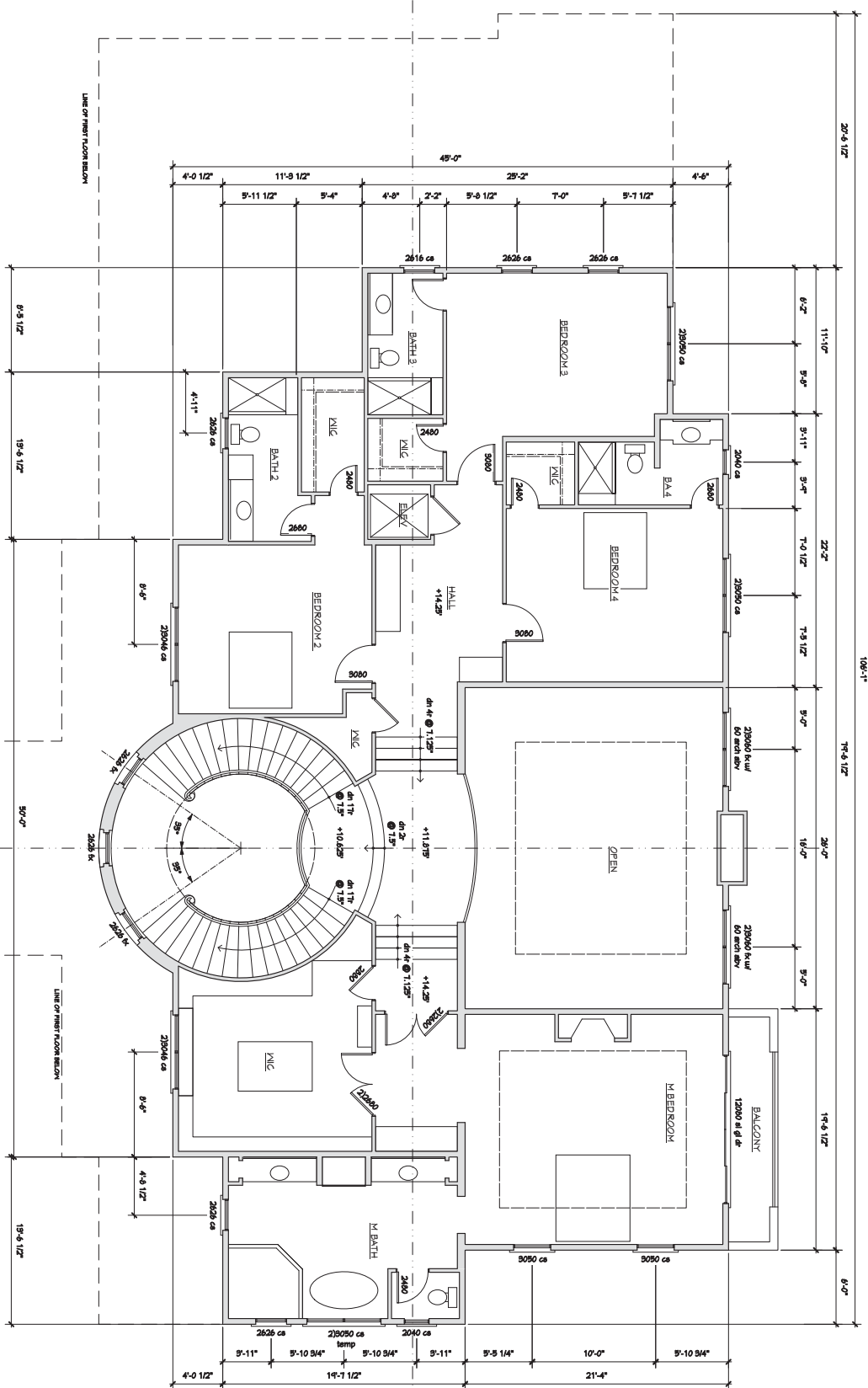
NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PLEASANTON AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.



| | | | |
|-------------------|---|-----------------|--------------|
| JOB NO.: 14158 | PROJECT NAME: GRADING AND DRAINAGE PLAN | DRAWN BY: RD | NO. BY: DATE |
| DISK NO.: | LOT 2 TRACT 5945 | DESIGNED BY: RD | REVISIONS: |
| FILE NO.: 14158C1 | CITY OF PLEASANTON | CHECKED BY: DA | APPROVED: |
| DATE: 3-30-2015 | ALAMEDA COUNTY, CALIFORNIA | SCALE: 1" = 10' | |

ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (905) 468-2265



UPPER FLOOR PLAN
1/4" = 1'-0"

MARK E. LANDOLE
ARCHITECT
1640 BIRCHWOOD ROAD
ALAMO, CALIFORNIA 94501
(925) 857-2451 (925) 448-0355 FAX
WWW.MEHLANDOLE.COM

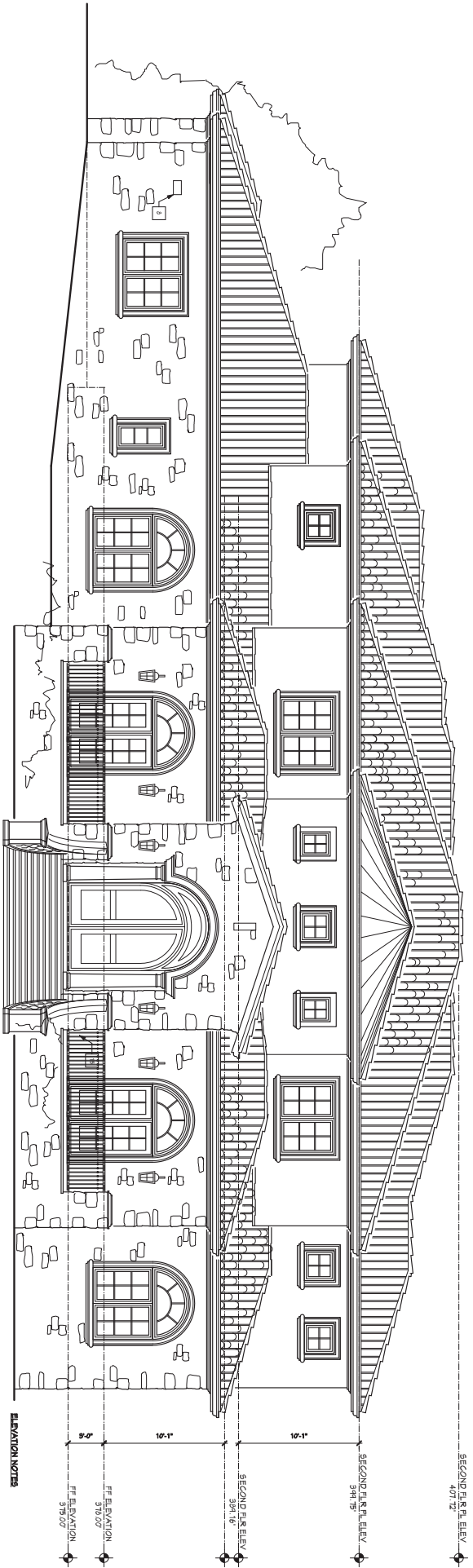
HADDAD RESIDENCE
8019 GOLDEN EAGLE WAY
PLEASANTON, CALIFORNIA

UPPER FLOOR PLAN

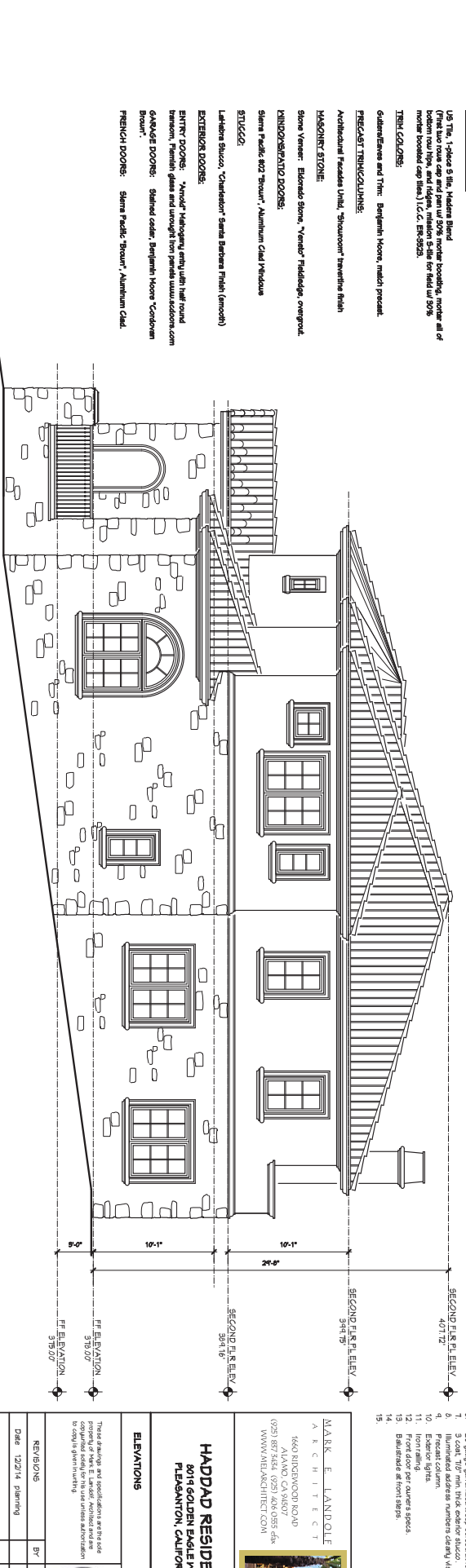
| REVISIONS | BY | DATE |
|-------------------------|--------------|-------------|
| DATE: 12/21/14, DRAWING | SCALE: MODEL | DRAWN: MEL |
| | | JOB: HADDAD |
| | | SHEET |

A3

These drawings and specifications are the sole property of Mark E. Landole Architect and are to be used only for the project and location identified herein. No part of these drawings may be reproduced without written permission.



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

- ELEVATION NOTES**
1. Finish GSM glazing and unit/C approved spk. install.
 2. Precast concrete trim.
 3. Concrete garage floor.
 4. Roll-up garage door.
 5. 26 gauge galvanized metal screened at foundation line.
 6. 3 coat, 105 mil. thick exterior stucco.
 7. Precast columns.
 8. Exterior lights.
 9. Iron railing per owners specs.
 10. Iron railing per owners specs.
 11. Iron railing per owners specs.
 12. Iron railing per owners specs.
 13. Balustrade at front steps.
 - 14.
 - 15.

EXTERIOR MATERIALS-COLORS

ROOFING MATERIAL:
US Title, -values 9 tile, Modern Blend (Finish two rows cap and pen up 50% mortar bedding, mortar all of bottom row high, and ridge, install 5-shs for field w/ 50% mortar bedded cap tiles), ICC, EP-9525.

TRIM COLORS:
Cedar/White and Trim: Benjamin Moore, match present.

PRECAST TRIM/COLUMNS:
Architectural Facades Unit, "Shoreform" travertine finish

MASONRY STONE:
Stone Veneer: Eldorado Stone, "Veneer" Fieldledge, overcoat

KINDOOR/SLIDING DOORS:
Sierra Pacific #02 "Shour", Aluminum clad Windows


STUCCO:
Lath-on Stucco, "Charleston" Santa Barbara Finish (smooth)

EXTERIOR DOORS:
ENTRY DOORS: "Veneer" Polycrylic entry with half round transom, "Fennel" glass and wrought iron panels www.usadecors.com


GARAGE DOORS:
"Sierra Pacific" "Shour", Benjamin Moore "Cordovan Brown"

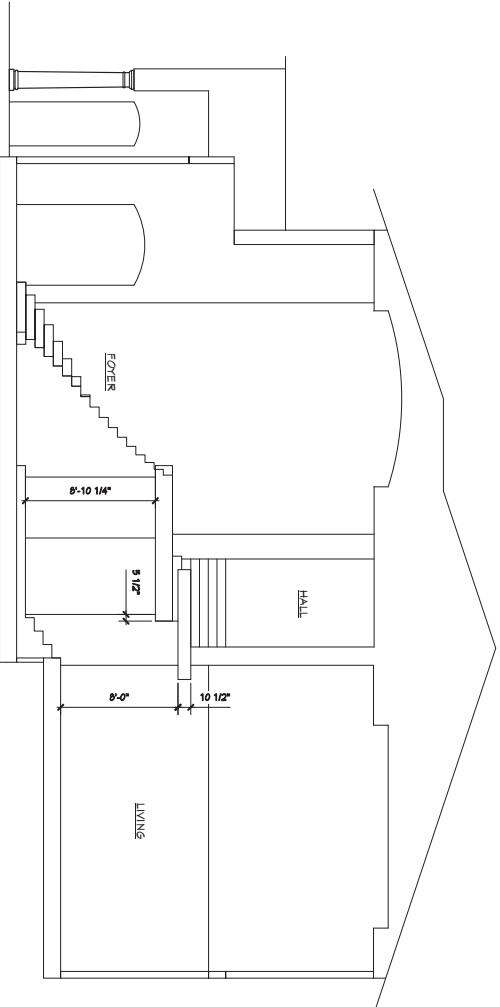
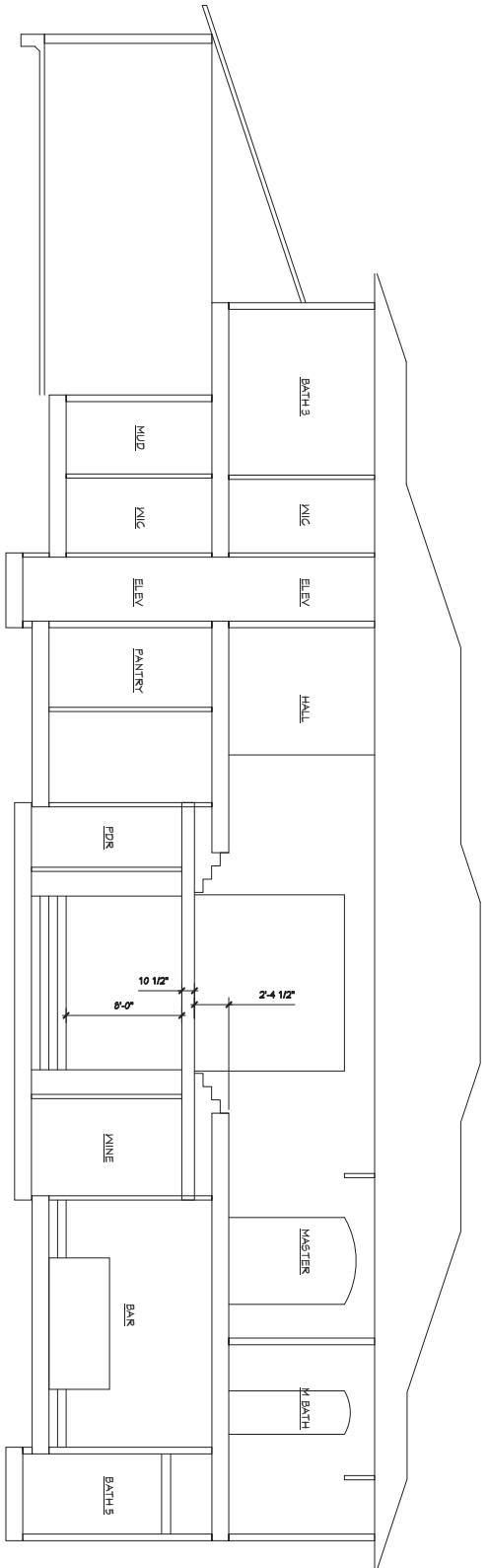
FRENCH DOORS:
Sierra Pacific, "Shour", Aluminum clad.

MARK E. LANDOLE
ARCHITECT
1640 BIRCHWOOD ROAD
ALAMO, CALIFORNIA 94507
(925) 857-7451 (925) 488-055 FAX
WWW.MELANDOLEARCHITECT.COM



HADDAD RESIDENCE
8019 GOLDEN EAGLE WAY
FREMONT, CALIFORNIA

| ELEVATIONS | |
|---|---|
| THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARK E. LANDOLE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. |  |
| REVISIONS | BY DATE |
| DATE: 12/21/14, planning | SCALE: MODEL |
| | DRAWN: MEL |
| | JOB: HADDAD |
| | SHEET |
| | A4 |



MARK E. LANDOLF
 ARCHITECT
 1640 BIRCHWOOD ROAD
 ALHAMBRA, CA 91807
 (925) 887-5438 (925) 406-0355 fax
 WWW.MARKLANDOLF.COM



HADDAD RESIDENCE
 8019 GOLDEN EAGLE WAY
 PLEASANTON, CALIFORNIA

SECTIONS

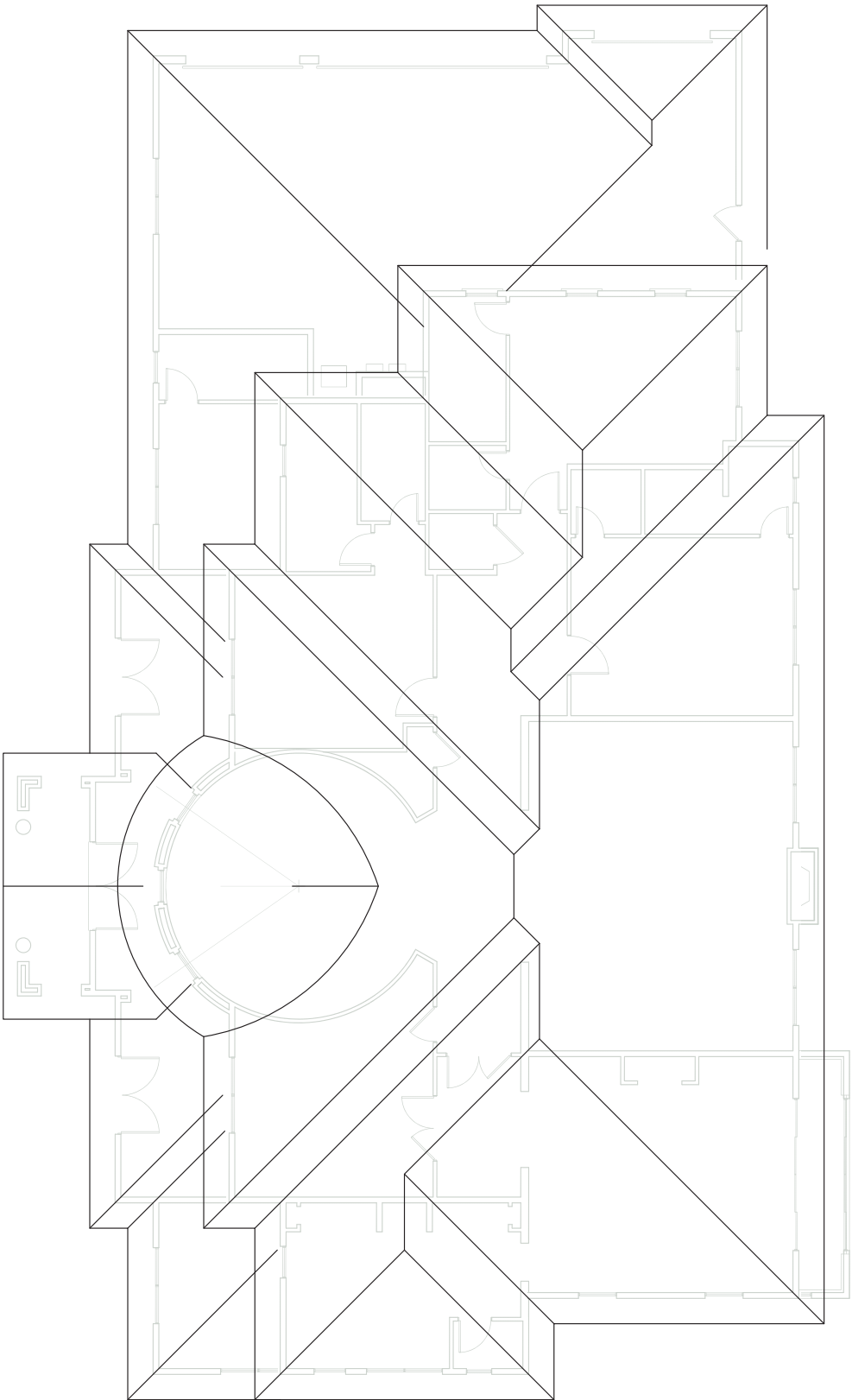
These drawings and specifications are the sole property of Mark E. Landolf Architect and are to be used only for the project and location to which they are specifically intended. No part of these drawings or specifications may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Mark E. Landolf Architect.



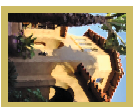
| REVISIONS | BY | Date |
|----------------|----------|------|
| DATE: 12/21/14 | planning | |

| Scale | Drawn | Job | Sheet |
|-------|-------|--------|-------|
| model | MEL | HADDAD | |

A6



ROOF PLAN
1/4" = 1'-0"



MARK E. LANDOLE
ARCHITECT
1640 BIRCHWOOD ROAD
ALAMO, CALIFORNIA 94507
(925) 857-2454 (925) 406-0355 fax
WWW.MARKLANDOLE.COM

HADDAD RESIDENCE
8019 GOLDEN EAGLE WAY
PLEASANTON, CALIFORNIA

These drawings and specifications are the sole property of Mark E. Landole, Architect and are to be used only for the project and location to which they apply.



| REVISIONS | BY | DATE |
|--------------------------|-------------|---------------|
| DATE: 12/21/14, planning | SCALE: none | DATE: 9/16/14 |
| | DRAWN: MEL | |
| | JOB: HADDAD | |
| | SHEET | |



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

MARK E. LANDOLF
ARCHITECT
1640 BIRCHWOOD ROAD
ALABAMA, CA 94507
(925) 867-5438 (925) 406-0355 fax
WWW.MARKLANDOLF.COM



HADDAD RESIDENCE
8019 GOLDEN EAGLE WAY
PLEASANTON, CALIFORNIA

These drawings and specifications are the sole property of Mark E. Landolf Architect and are to be used only for the project and location identified herein. No part of these drawings or specifications may be copied, reproduced, or otherwise transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Mark E. Landolf Architect.



| REVISIONS | BY | DATE | SCALE | NOTED |
|----------------|-------------|---------|-------|-------|
| DATE: 12/21/14 | planning | | | |
| | | 9/18/14 | model | |
| | Drawn: MEL | | | |
| | Job: HADDAD | | | |
| | Sheet | | | |



HOUSE FOOTPRINT = 5,344 SF



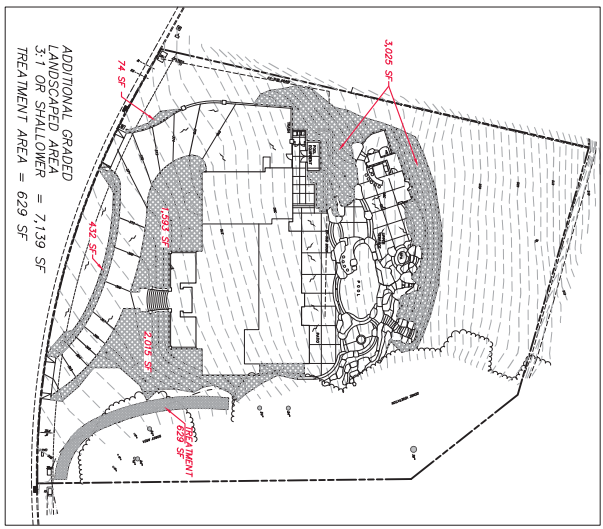
HARDSCAPING = 6,738 SF



DRIVEWAY = 4,596 SF



GRADED AREA = 16,678 SF



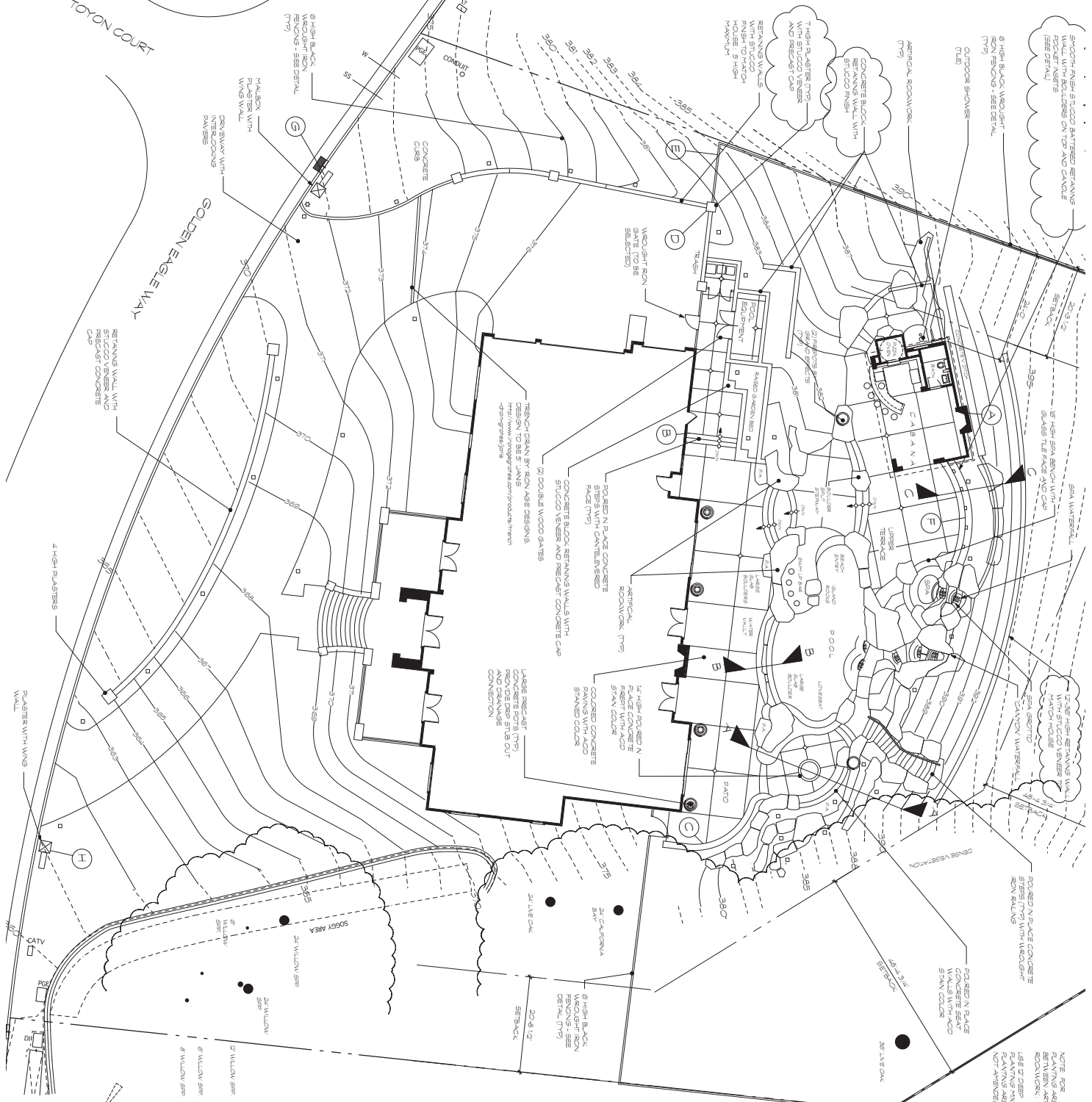
ADDITIONAL GRADED
LANDSCAPED AREA
3:1 OR SHALLOWER
TREATMENT AREA = 629 SF

LOT AREA = 42,197 SQ FT
GRADEABLE AREA = 16,678 SQ FT (38.8%)
ADDITIONAL GRADED LANDSCAPED AREA 3:1 OR SHALLOWER = 7,139 SQ FT
IMPERVIOUS AREA = 16,678 SQ FT

SEE CONDITIONS OF APPROVAL FOR
ALL GRADING IS 3:1 OR FLATTER.



| | | | | | | |
|---|---|--|---|-----------------------|----------|--|
| JOB NO.: 14158 DISK NO.: FILE NO.: 14158C1 DATE: 4-30-2015 | PROJECT NAME GRADED AREA LOT 2 TRACT 5945 CITY OF PLEASANTON ALAMEDA COUNTY, CALIFORNIA | DRAWN BY: RD DESIGNED BY: RD CHECKED BY: DA SCALE: 1"=10' | ALEXANDER & ASSOCIATES INC. SURVEYORS ENGINEERS PLANNERS 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (906) 462-2255 | NO. BY DATE REVISIONS | APPROVED | |
| | SHEET NO.: 1 OF 1 SHEETS | | | | | |
| | | | | | | |
| | | | | | | |



NOTE FOR PLANNING AGENS: N PLANING AGENS SHALL VERIFY ALL CONSTRUCTION DETAILS AND MATERIALS WITH THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

LANDSCAPE CONTRACTOR NOTES:

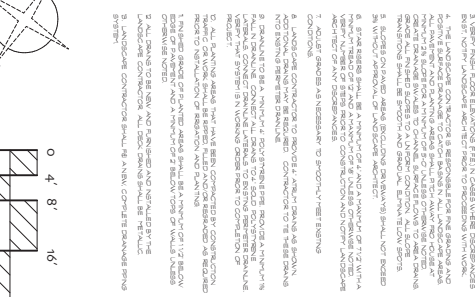
1. CONCRETE SHALL BE PLACED AND FINISHED WITHIN 24 HOURS OF POURING.
2. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
3. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CURING.
4. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
5. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
6. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
7. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
8. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
9. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.
10. ALL CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION SHOWN ON THE PLAN.

FINISH GRADING AND DRAINAGE NOTES:

1. THE FINISH ELEVATION SHALL BE AS SHOWN ON THE PLAN.
2. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
3. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
4. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
5. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
6. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
7. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
8. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
9. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.
10. ALL FINISH GRADING SHALL BE TO THE FINISH ELEVATION SHOWN ON THE PLAN.

DRAINAGE LEGEND:

| SYMBOL | DESCRIPTION |
|--------|------------------------|
| ○ | 4" NOS 40# GRATE |
| ◇ | 3" NOS BRASS DOCK DECK |
| ◊ | DRAINAGE AT POTS |



| SHEET INDEX | |
|-------------|-----------------------------|
| L1 | HARDSCAPE LAYOUT |
| L2 | DIMENSIONING PLAN |
| L3 | PLANTING PLAN |
| L4 | PLANTING NOTES |
| L5 | IRIGATION PLAN |
| L6 | IRIGATION NOTES AND LEGENDS |
| L7 | IRIGATION DETAILS |
| L8 | LIGHTING PLAN |
| L9 | DETAILS AND NOTES |
| L10 | WALL AND FENCE PLAN |

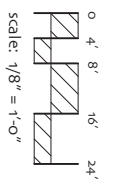
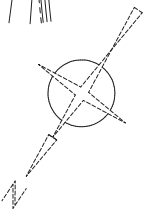
Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, CA
 94566
 925-462-2199

Haddad residence
 LOT 12
 8019
 GOLDEN EAGLE WAY
 PLEASANTON, CA



| NO. | REVISION | DATE |
|-----|----------------------|------------|
| 1 | ISSUED FOR PERMITS | 08/15/2018 |
| 2 | REVISIONS TO PERMITS | 08/20/2018 |
| 3 | REVISIONS TO PERMITS | 08/25/2018 |
| 4 | REVISIONS TO PERMITS | 08/30/2018 |
| 5 | REVISIONS TO PERMITS | 09/05/2018 |
| 6 | REVISIONS TO PERMITS | 09/10/2018 |
| 7 | REVISIONS TO PERMITS | 09/15/2018 |
| 8 | REVISIONS TO PERMITS | 09/20/2018 |
| 9 | REVISIONS TO PERMITS | 09/25/2018 |
| 10 | REVISIONS TO PERMITS | 09/30/2018 |

HARDSCAPE LAYOUT
 L1



general notes
 contractor shall be responsible for obtaining and securing all required permits to construct from all appropriate agencies within the scope of all local, state and federal laws.
 all work shall be done in accordance with the latest editions of the applicable building codes and standards.
 the contractor shall be responsible for obtaining and securing all required permits to construct from all appropriate agencies within the scope of all local, state and federal laws.
 the contractor shall be responsible for obtaining and securing all required permits to construct from all appropriate agencies within the scope of all local, state and federal laws.

Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, CA
 94566-1101
 (925) 462-1100
 fax: (925) 462-2100

Haddad residence
 LOT 12
 8019
 GOLDEN EAGLE WAY
 PLEASANTON, CA

This plan is a preliminary drawing and is not to be used for construction. It is the responsibility of the contractor to verify all dimensions and conditions in the field. The contractor shall be responsible for obtaining and securing all required permits to construct from all appropriate agencies within the scope of all local, state and federal laws. The contractor shall be responsible for obtaining and securing all required permits to construct from all appropriate agencies within the scope of all local, state and federal laws.



| NO. | REVISION | DATE |
|-----|------------------|------------|
| 1 | ISSUE FOR PERMIT | 08/15/2005 |
| 2 | ISSUE FOR PERMIT | 08/15/2005 |
| 3 | ISSUE FOR PERMIT | 08/15/2005 |
| 4 | ISSUE FOR PERMIT | 08/15/2005 |
| 5 | ISSUE FOR PERMIT | 08/15/2005 |

DATE: 08/15/2005
 TIME: 10:00 AM
 L-2



Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, CA
 94566
 (925) 462-1100
 Fax: (925) 462-2100

Haddad residence
 LOT 12
 8019
 GOLDEN ENGLE WAY
 PLEASANTON, CA

This plan is submitted in accordance with the requirements of the City of Pleasanton, California, and the State of California, and is intended to be used in conjunction with the other documents submitted in support of this project. The City of Pleasanton, California, and the State of California, are not responsible for the accuracy or completeness of this plan. The user of this plan is advised to consult with the appropriate authorities for all applicable laws, regulations, and codes.



| NO. | DESCRIPTION | QUANTITY | UNIT |
|-----|-------------|----------|------|
| 1 | PLANTING | 1 | GAL |
| 2 | PLANTING | 1 | GAL |
| 3 | PLANTING | 1 | GAL |
| 4 | PLANTING | 1 | GAL |
| 5 | PLANTING | 1 | GAL |

PLANTING PLAN
 L-3

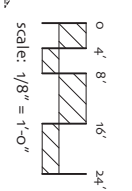
Scale: 1/8" = 1'-0"



POINT OF CONNECTION TO WATER SERVICE
 INSTALL COMPRESSOR TIE ON DOMESTIC MAINLINE VALVE WITH AIR IN LINE PRESSURE OF 50 PSI. IF EXCEEDS 50 PSI, LEAD PRESSURE REDUCING VALVE (PRV) TO BE INSTALLED ON MAINLINE VALVE WITH AIR IN LINE PRESSURE OF 50 PSI.

WALL MOUNT CONTROLLER LOCATION B
 PROVIDE CONNECTION TO 20' VOLT POWER UNMOUNTED STEEL CONDUIT FROM SOURCE WITHIN GARAGE. ALL ABOVE GRADE CONDUIT WIRES SHALL BE CONVEALED WITH PVC ELECTRICAL CONDUIT SECURED TO WALL WITH RAIL. CONDUIT CONNECTION TO BE COORDINATED WITH OWNER.

- IRRIGATION INSTALLATION NOTES:**
1. IRRIGATION CONTROLLER SHALL VERIFY WATER PRESSURE PRIOR TO STARTING WORK
 2. THE IRRIGATION CONTROLLER SHALL ADJUST ALL SPRAY HEADS TO AVOID OVERSPRAY
 3. IRRIGATION CONTROLLER TO BE PROGRAMMED TO OPERATE BETWEEN 8 PM AND 2 AM
 4. THE IRRIGATION CONTROLLER SCHEDULE SHALL BE CHANGED FOR 50% REDUCTION
 5. THE RAINFALL AUTOMATIC SHUT OFF DEVICE SHALL BE LOCATED DEVICE SHALL BE INSTALLED AWAY FROM ANY OVERHANGS OR TREES
 6. AUTOMATIC MAIN VALVES TO BE SET IN VALVE BOXES. LOCATE VALVE BOXES IN SHROUD COVER AREAS
 7. LOCATE A CHECK VALVE ABOVE LOWEST HEAD IN EACH SPRAY LINE



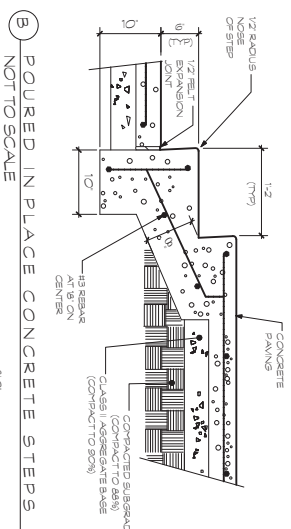
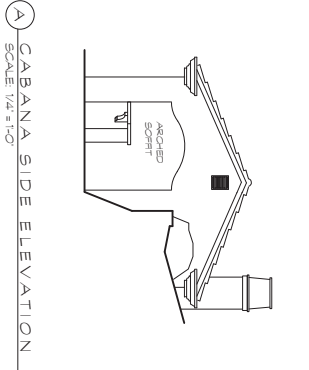
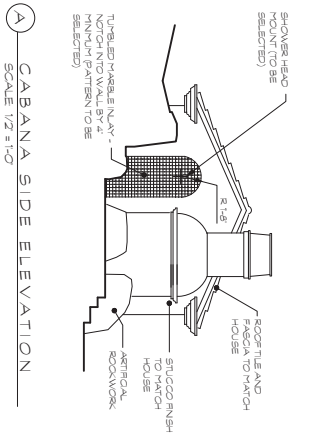
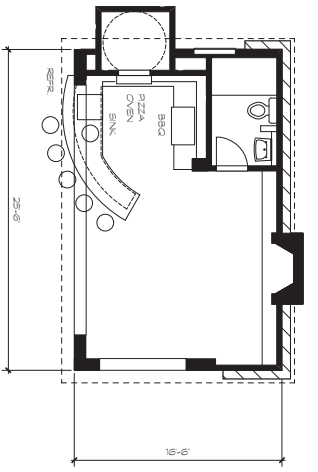
Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, CA
 94566-1101
 925-432-2100

Haddad residence
 LOT 12
 8019
 GOLDEN EAGLE WAY
 PLEASANTON, CA

NOTED: THIS PLAN IS SUBMITTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA WATER CODE AND THE PLANNING AND ZONING ORDINANCES OF THE CITY OF PLEASANTON, CALIFORNIA. THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT AND THAT THE PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER INTERESTS THAT COULD AFFECT THE PROJECT. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL REVIEW OF THE RECORD PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF PLEASANTON RECORD PLANS. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL REVIEW OF THE SITE AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF PLEASANTON RECORD PLANS. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL REVIEW OF THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF PLEASANTON RECORD PLANS. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL REVIEW OF THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF PLEASANTON RECORD PLANS.

IRRI GATION PLAN

L-5

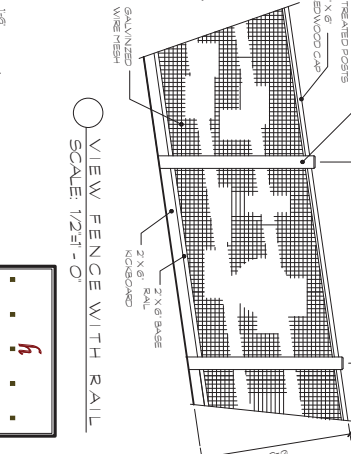
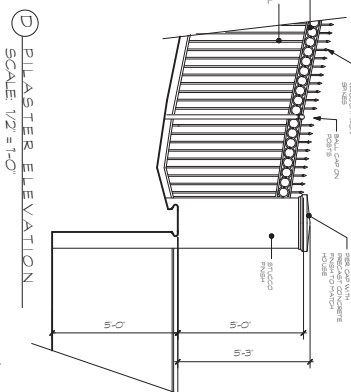
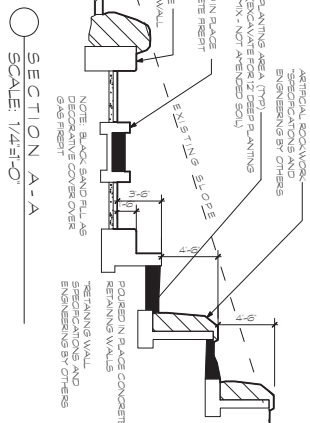
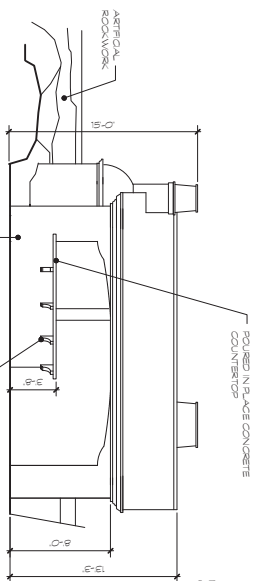


A CABANA LAYOUT SCALE 1/2" = 1'-0

A CABANA SIDE ELEVATION SCALE 1/2" = 1'-0

A CABANA SIDE ELEVATION SCALE 1/4" = 1'-0

B POURED IN PLACE CONCRETE STEPS NOT TO SCALE

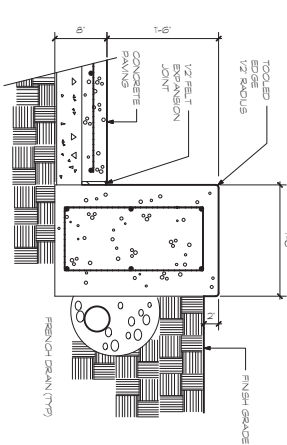
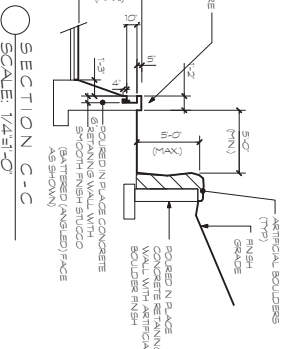
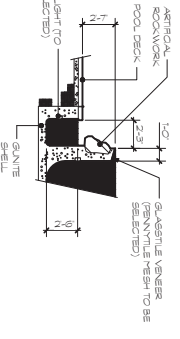


A CABANA FRONT ELEVATION SCALE 1/4" = 1'-0

SECTION A-A SCALE 1/4" = 1'-0

D PIPLASTER ELEVATION SCALE 1/2" = 1'-0

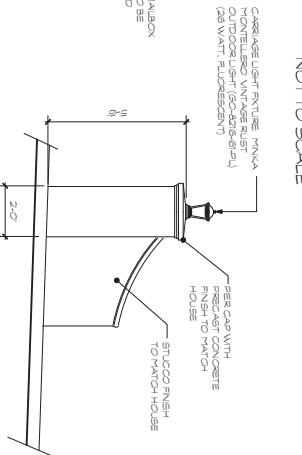
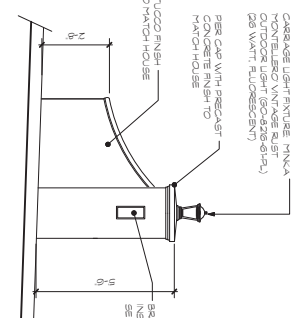
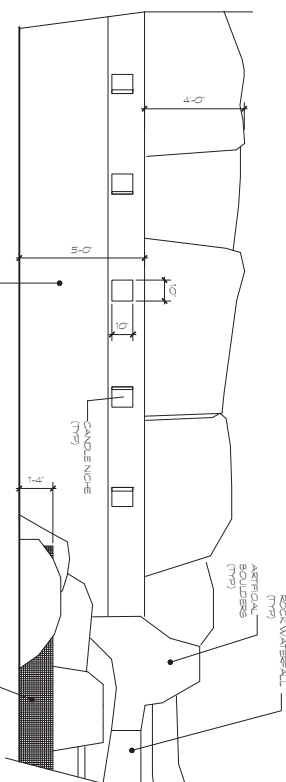
VIEW FENCE WITH RAIL SCALE 1/2" = 1'-0



○ VANISHING EDGE SECTION B-B NOT TO SCALE

○ SECTION C-C SCALE 1/4" = 1'-0

○ SEAT WALL SECTION NOT TO SCALE



F CANDLE NICHE WALL FRONT ELEVATION SCALE 1/2" = 1'-0

G MAILBOX PILASTER DETAIL SCALE 1/2" = 1'-0

H ENTRY PILASTER DETAIL SCALE 1/2" = 1'-0

Martin Hoffmann
4713 First Street
Suite 205
Pleasanton, CA 94566-1010
949-262-4211/949-262-2199

Haddad residence
LOT 12
8019
GOLDEN ENGLE WAY
PLEASANTON, CA

NOT FOR CONSTRUCTION
THIS PLAN IS DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE EXISTING CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE SITE AND FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE EXISTING CONDITIONS OF THE SITE.

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| 1 | ISSUE FOR PERMITS | 08/11/2023 |
| 2 | ISSUE FOR PERMITS | 08/11/2023 |
| 3 | ISSUE FOR PERMITS | 08/11/2023 |
| 4 | ISSUE FOR PERMITS | 08/11/2023 |
| 5 | ISSUE FOR PERMITS | 08/11/2023 |
| 6 | ISSUE FOR PERMITS | 08/11/2023 |
| 7 | ISSUE FOR PERMITS | 08/11/2023 |
| 8 | ISSUE FOR PERMITS | 08/11/2023 |
| 9 | ISSUE FOR PERMITS | 08/11/2023 |
| 10 | ISSUE FOR PERMITS | 08/11/2023 |

DETAILS

L-9

